

LDP PROVISIONS

The provisions below (and accompanying plan) relate to the WAPC approved Plan of Subdivision for lots 57 & 9000 West Parade, South Guildford (WAPC Ref:153832).

Unless provided for below, the provisions of the City of Swan Local Planning Scheme No.17 (LPS No.17) and Residential Design Codes (R-Codes) apply. The requirements of the R-Codes and LPS No.17 shall be satisfied in all other matters.

The following standards are deemed to represent variations to the R-Codes, and constitute Deemed-to-Comply requirements pursuant to the R-Codes.

SETBACKS

| All Lots | | |
|---------------------------|---------|---------|
| | Minimum | Average |
| Dwelling primary street | 3.0m | 4.0m |
| Dwelling secondary street | 1.35m | N/A |
| Garage primary street | 4.5m | N/A |

| Lots 273 - 283, 286, 287, 290 - 298 (Laneway Access) | | |
|--|---------|---------|
| | Minimum | Average |
| Garage to laneway | 2.0m | N/A |

| Lots 274 - 283, 290 - 297 (Side Boundaries) | | |
|---|--|---------|
| | Minimum | Average |
| Most northern side boundary | Nil (1/3 length of boundary behind front setback for wall heights of 3.5m or less) | N/A |
| Most southern side boundary | Nil (2/3 length of boundary behind front setback for wall heights of 3.5m or less) | N/A |

OPEN SPACE

- The open space requirement can be reduced to a minimum of 40% provided the outdoor living area is located on the most northern or eastern boundary of the lot.

OVERSHADOWING

- No maximum overshadowing of adjoining property for wall height 3.5m or less.
- No maximum overshadowing of adjoining property for wall height greater than 3.5m where overshadowing is confined to the front half of the lot. If overshadowing intrudes into the rear half of the lot, shadows cast must not exceed 25%.

NOISE ATTENUATION

- All dwellings must demonstrate compliance with AS2021/2015 (Acoustics - Aircraft Noise Intrusion).

ENDORSEMENT TABLE

This Local Development Plan has been adopted by Council and signed by the Manager/Coordinator Statutory Planning.

[Signature]
 Manager/Coordinator Statutory Planning
 LDP/1/2017
 City of Swan Ref

[Signature]
 Date 15/6/17



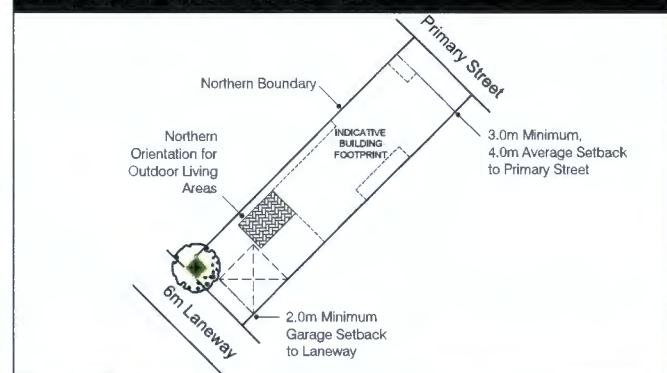
LOCATION PLAN



LEGEND

- LDP APPLICATION AREA
- Orange box LANEWAY ACCESSED LOTS
- Box with 'X' DESIGNATED GARAGE LOCATION
- Arrow PRIMARY STREET FRONTAGE
- Green square MANDATORY 2M X 2M LANDSCAPE PLANTING BED WITH TREE (TO BE PROVIDED BY THE DEVELOPER)
- Light green box PUBLIC OPEN SPACE/PUBLIC ACCESS WAY
- RETAINING WALL

TYPICAL LANEWAY LOT



TYPICAL SIDE ACCESS LOT

